



RESIDENTIAL IMPROVEMENT GUIDELINES

Prepared By:

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INTRODUCTION

The Architectural Control Committee (“ACC”) is providing the attached Residential Improvement Guidelines, a part of the Architectural Design Guidelines as provided in the Declaration of Covenants, Conditions and Restrictions for Brightleaf, for purposes of establishing and maintaining exterior design elements throughout the community. This document should be filed with the homeowners’ copy of the Residential Declaration received at closing. It is the responsibility of each homeowner to pass along the Residential Declaration and Improvement Guidelines to any future buyer of their home.

It is important to note that the Improvement Guidelines are applicable to all future building exterior and property improvements, including homeowner improvements that were not previously submitted and approved. Architectural Guidelines for initial home construction by approved homebuilders may vary from any current guideline standards and are subject to the “Architectural Design for New Construction” Section of the ACC Guidelines. The ACC may update, revise and adopt new Residential Improvement Guidelines at their discretion as provided in the Declaration. Improvements approved under previous Improvement Guidelines may be exempt from any updated or amended versions at the discretion of the ACC. Any replacement, alterations or modifications to such improvements may be cause for full compliance with any updated Improvement Guidelines.

These Improvement Guidelines will be utilized by the ACC to evaluate and approve/disapprove property alterations and/or improvements throughout the community. Homeowners should use these Improvement Guidelines in planning changes to their property that will require ACC review.

Design: The design or style of improvements should attempt to enhance the natural setting of the community and compliment any community design elements. Improvements must be sensitive to adjacent properties as well as the community as a whole.

Constraints: Planning for improvements should include identifying any limitations or regulations applicable to a lot such as utility and other easements, street and utility right of ways, watershed and wetlands restrictions, etc. Most of these constraints are indicated on the Record Plat and/or the Lot Survey.

Submittals: Submittals must be complete and include a completed “ACC Review Request Form” along with the requested documentation for review. Most submittals for lot improvements will require a copy of the “Lot Survey” indicating the location of the improvements. Submittals for building additions or improvements should include elevation views of the building. Partial or incomplete submittals will be returned without review. Additional information may be requested by the ACC as may be deemed necessary for review.

ACC Review: Properly completed submittals will be reviewed in a timely manner by the ACC. The ACC has established a 30-day response period and it is strongly advised that improvements are not undertaken without a response or approval. In many cases, it is necessary to inspect the lot and surrounding conditions as part of the review process. Any improvements installed without prior written approval shall be considered in violation and subject to fines and penalties. Any improvements not conforming to the guidelines in effect at the time shall be considered in violation and subject to fines and penalties.

Existing

Violations: Any property improvement requests may be declined, denied, or otherwise not considered in the event there exist unapproved improvements or identified violations on the subject property. It will be necessary for the applicant to submit all improvements for review and/or resolve any violations with the ACC prior to any subsequent reviews.

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Variances

& Appeal: Variances from the Improvement Guidelines may be granted in the event of unique conditions or extenuating circumstances as determined and approved by the ACC. Granting of a variance shall not constitute any changes to the Improvement Guidelines nor set a precedent for future decisions of the ACC. Decisions of the ACC may only be appealed by the submitting party and requires either a modification of the requested action and/or new information which would, in the ACC's opinion, warrant reconsideration. Decisions of any sub-committee to the ACC may be appealed to the ACC by the submitting party. All decisions of the ACC are final.

Agency

Approval: Depending on the type and/or location of the improvement, approval may be required by various governmental agencies. Approval for improvements by the ACC does not imply, constitute or waive any agency review requirements.

Rear Yard

Restrictions: **THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BRIGHTLEAF AND RELATED DOCUMENTS PROHIBIT MACHINE CLEARING WITHIN THE REAR YARD SETBACK AT ALL SINGLE FAMILY LOTS WITHOUT THE WRITTEN APPROVAL OF THE DECLARANT OR THE ACC. THIS AREA MAY ALSO BE SUBJECT TO SPECIFIC GOVERNMENTAL LAWS, ORDINANCES AND REGULATIONS GOVERNING WETLANDS, WATERSHED AREAS, STORM WATER MANAGEMENT AREAS AND OTHER ENVIRONMENTALLY SENSITIVE AREAS. FAILURE TO COMPLY WITH SUCH PROVISIONS AND/OR THE DESIGN GUIDELINES MAY RESULT IN REQUIRED REMEDIATION, PENALTIES, FINES OR OTHER ACTIONS AS APPLICABLE. ALLOWABLE IMPROVEMENTS WITHIN THE REAR YARD SETBACK ARE OUTLINED IN SECTION 6: GENERAL IMPROVEMENTS, LANDSCAPE & MAINTENANCE IMPROVEMENT GUIDELINES.**

THIS CLEARING RESTRICTION SHALL NOT APPLY TO THE REAR SETBACK AREA AT ALLEY ACCESS LOTS (LOTS WITH DRIVES CONNECTING TO AN ALLEY), BUT RATHER SHALL APPLY TO THE FRONT YARD (30' SETBACK).

SECTION 1: NEW, ADDITION, AND/OR REMODELING CONSTRUCTION IMPROVEMENT GUIDELINES

General: New construction, additions or remodeling improvements including a room addition, screened porch, deck, in-ground pool, hot tub/spa, patio, walk, drive addition, re-painting, re-roofing or other additions or alterations to the exterior appearance of a home or structures must be approved by the ACC.

Materials: All materials shall match existing house including siding, trim, shingles, roof pitch, etc. as well as finish and color. The siding material (i.e. brick) and color must be submitted and approved by the ACC.

Colors: All exterior components shall have finish materials and color matching or otherwise complementing the existing house as determined by the ACC.

- Decks or screened porches may be left the natural wood color, stained or painted to match the house with ACC approval.

Location: All improvements (other than paving and landscaping) shall either be attached to the house or located in the rear yard.

- No addition (other than paving and landscaping) may extend beyond the building setbacks shown on the survey.
- Pools shall not extend beyond the building setbacks shown on the survey.
- Decks, pools, hot tubs/spas and room additions shall not extend outside of the rear corner (side walls) of the house.

Garages: Garages may not be converted to, or used as a living or work space.

Deck: New decks must be attached to the house or be an extension of an existing deck. All new decks and deck additions must have skirting (lattice, siding, etc.) installed when the opening between the deck and grade exceeds 36". Foundation plantings may be substituted for skirting as appropriate and approved by the ACC. Foundation plantings shall be installed at a size and spacing appropriate to the scale of the improvement as determined by the ACC. Skirting is not recommended at second story decks, or when the opening between the deck and grade exceeds 8". All existing decks shall be improved to match current deck requirements as a condition of approval for deck additions.

Sun Room/

Screen Porch: Sun rooms and screen porches shall be attached to, and integrated into the existing house. A minimum 24" base (above grade) must be provided for sun room additions (or other, similar conditioned space) with the floor at grade elevation. Skirting (siding, brick, etc.) must be installed between the floor surface and ground at crawl space or elevated structures. All components must be finished or painted to match the existing house (excluding screens).

Pools/

Hot Tubs: In-ground swimming pools and hot tubs are allowed with approval by the ACC. Above ground swimming pools are not allowed. Small, portable wading pools up to 6' diameter and 12" depth are permitted in the rear yard during the summer months without approval. Hot tubs must be located on, or integrated into a deck system attached to the house. Pools, hot tubs and associated paving/decks may not be located within the building setbacks.

Screening: Foundation planting beds at the house shall be extended and/or added to include room additions, decks, etc. Swimming pools, hot tubs/spas and other improvements must be screened from view from streets, open space areas and Neighboring Lots as determined by the ACC.

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- The minimum buffer/screen shall consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and a minimum mature height of 4-feet. It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plantings may be applied to the screening requirements.
- No trees with a caliper greater than 3-inches may be removed without ACC approval. Fines or remediation may be assessed to the homeowner for trees removed without approval. Caliper measurements shall be taken from 6 inches above grade at the trunk.
- All screen plantings must be located on the lot with the requested improvement.

Debris: All construction debris shall be collected on daily basis and placed in appropriate containers or hauled off. Debris may only be placed at curb for pick-up for a period not exceeding 24 hours. Hazardous, toxic and similar materials must be secured at all times.

Submittal: Please submit a Review Request Form, the location of the new construction drawn on your lot survey of the property, house elevation views indicating the location, heights, roof lines, etc. of the house and the proposed addition (if applicable), the location of the landscaping, and a list of plants to be installed to fulfill the buffer/screen requirement. Construction documents may be required depending on the nature of construction.

SECTION 2: OUTDOOR STRUCTURE IMPROVEMENT GUIDELINES

- General:** Outdoor structure improvement guidelines apply to storage sheds, gazebos, playhouses, doghouses and other similar freestanding accessory structures. All such (and similar) improvements must be submitted to, and approved by the ACC. All applications will be reviewed on a case-by-case basis.
- Materials:** All materials shall match the house including siding, trim, shingles, etc. and finish/color. Roofs are to be multi-pitched. Structures attached or integrated into the house shall have doors similar to, or complimenting the house. In the event the house is all brick, all siding material (and color) must be submitted and approved by the ACC.
- Location:** Rear Yard (See Layout Exhibits);
All outdoor structures shall be located directly behind the house and outside the rear yard setback. Structures may be located within the setback (no closer than 20' from the rear property line) in instances where the rear yard is not wooded or partially wooded. Outdoor structures on corner lots must be located away from the side street (not beyond the midpoint of the back of the house).
- Skirting:** If any side of an outdoor structure exceeds 12" off the ground, siding or skirting is required (describe and include a photo/sketch of the material). Foundation plantings may be substituted for skirting as appropriate and approved by the ACC.
- Utilities:** All utilities including electric, water, and/or sewer must be underground and must adhere to standard building codes.
- Screening:** All freestanding outdoor structures shall be screened from view from Neighboring Lots, streets and common open space. A foundation planting bed shall be extended or added to all structures attached or incorporated into the house.
- The minimum buffer/screen shall consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and a minimum mature height of 4-feet. It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plantings may be applied to the screening requirements.
 - No trees with a caliper greater than 3-inches may be removed during construction without ACC approval. Fines or remediation may be assessed to the homeowner for trees removed without approval. Caliper measurements shall be taken from 6 inches above grade at the trunk.
 - All screen plantings must be located on the lot with the requested improvement.
- Prohibited:** Pre-fabricated storage buildings not upfitted to match the house.
Pre-fabricated doghouses not matching the house or otherwise screened from view.
Single plane shed or lean-to style roofs.
Tree houses.
- Gazebo:**
- Design:** Gazebos must be architectural in design (i.e. turned or finished posts, decorative railings, fully trimmed, finished ceiling, etc.) complimenting the house architecture.
- Size:** 15-foot diameter maximum
- Height:** Overall, 12' maximum recommended.
- Colors:** Natural wood color (stained) or painted/trimmed, in its entirety, in the same quality and color of the house.
- Location:** Gazebo is to be located directly behind the house on the lot outside the rear setback. A gazebo may be located within the setback (no closer than 20' from the rear property line) in instances where the rear yard is not wooded or partially wooded. Gazebos at corner lots must be located away from the side street (not beyond the midpoint of the house).

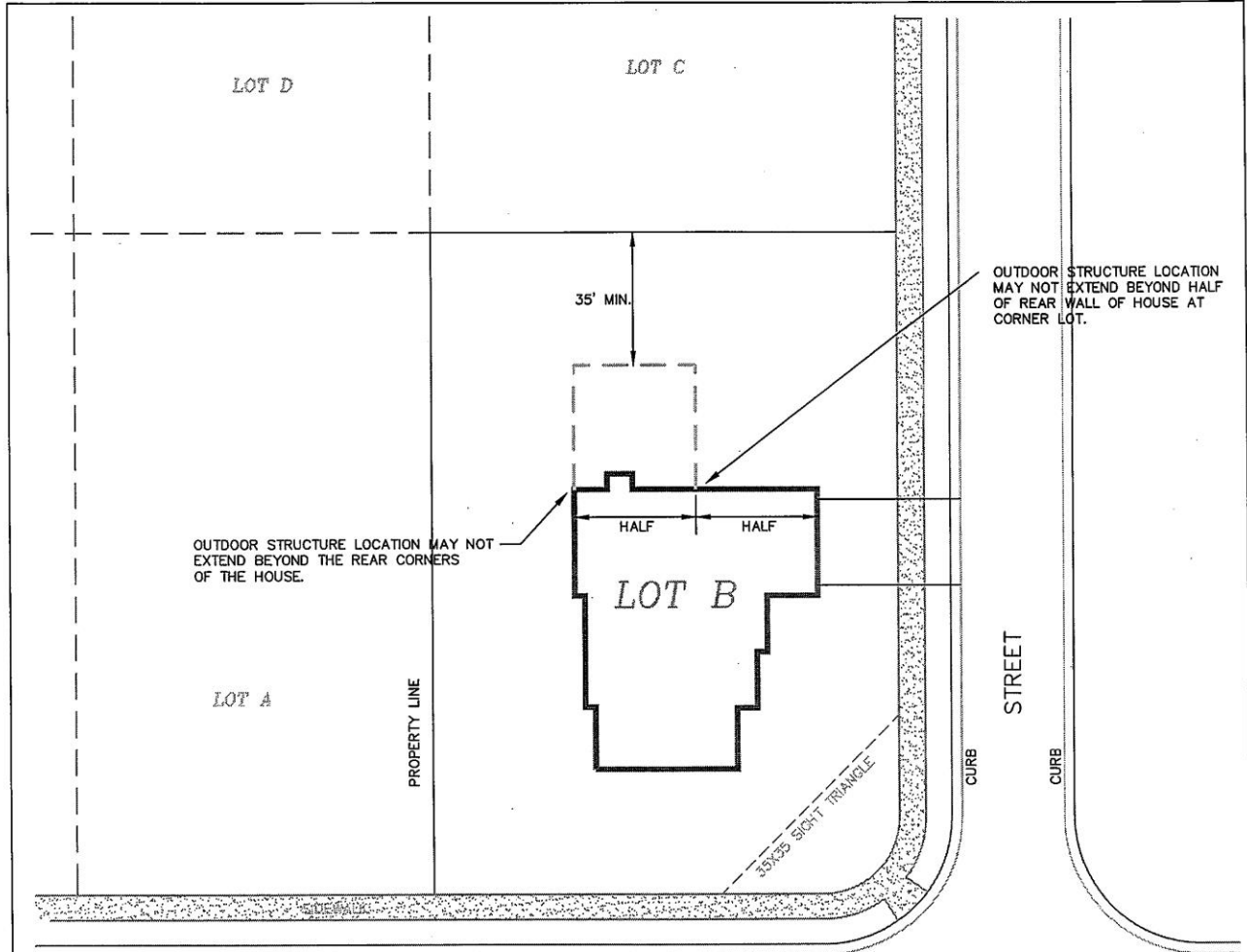
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- Screening: Landscaping around the foundation of a gazebo is required. The minimum plantings shall consist of a continuous evergreen hedge with a mature height equal to the finish floor level of the gazebo.
- Pool House: Design: Pool houses must be architectural in design complimenting the house architecture.
Height: Overall, 12' maximum recommended.
Colors: Brick or painted/trimmed, in its entirety, in the same quality and color of the house.
Location: To be located directly behind the house on the lot outside the rear setback.
Screening: Landscaping around the foundation is required. The minimum plantings shall consist of a continuous evergreen hedge with a mature height equal to the finish floor level.
- Storage Shed: Size: 10' x 12' maximum
Height: Overall, no greater than 10 feet
Must be constructed of the same materials as the residence.
Screening: Required.
- Playhouse: Size: No greater than 6' x 8'
Height: Overall, no greater than 6-feet
Screening: Required.
- Doghouse: Size: No greater than 4' x 4'
Height: Overall, no greater than 4 feet
Screening: Required.
Dog Runs are prohibited
- Debris: All construction debris shall be collected on daily basis and placed in appropriate containers or hauled off. Debris may only be placed at curb for pick-up for a period not exceeding 24 hours. Hazardous, toxic and similar materials must be secured at all times.
- Submittal: Please submit a Review Request form, elevation views or photograph of the structure including roof, the location of the structure drawn on your lot survey of the property, the location and type of any required landscape screening and a list of all materials and finishes.

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NOTES:

ENTIRE OUTDOOR STRUCTURE MUST BE SCREENED FROM VIEW FROM THE STREET, ADJACENT LOTS, COMMON OPEN SPACE, RECREATIONAL AREAS AND FROM THE GOLF COURSE (IF APPLICABLE).

ADDITIONAL LANDSCAPE REQUIREMENTS AS FOLLOWS:
EVERGREEN SHRUBS ON STREET SIDE OF FENCE:
24" TALL INSTALLED HEIGHT.
4' ON CENTER SPACING.
MINIMUM MATURE EQUAL TO HEIGHT OF OUTDOOR STRUCTURE WALL HEIGHT.

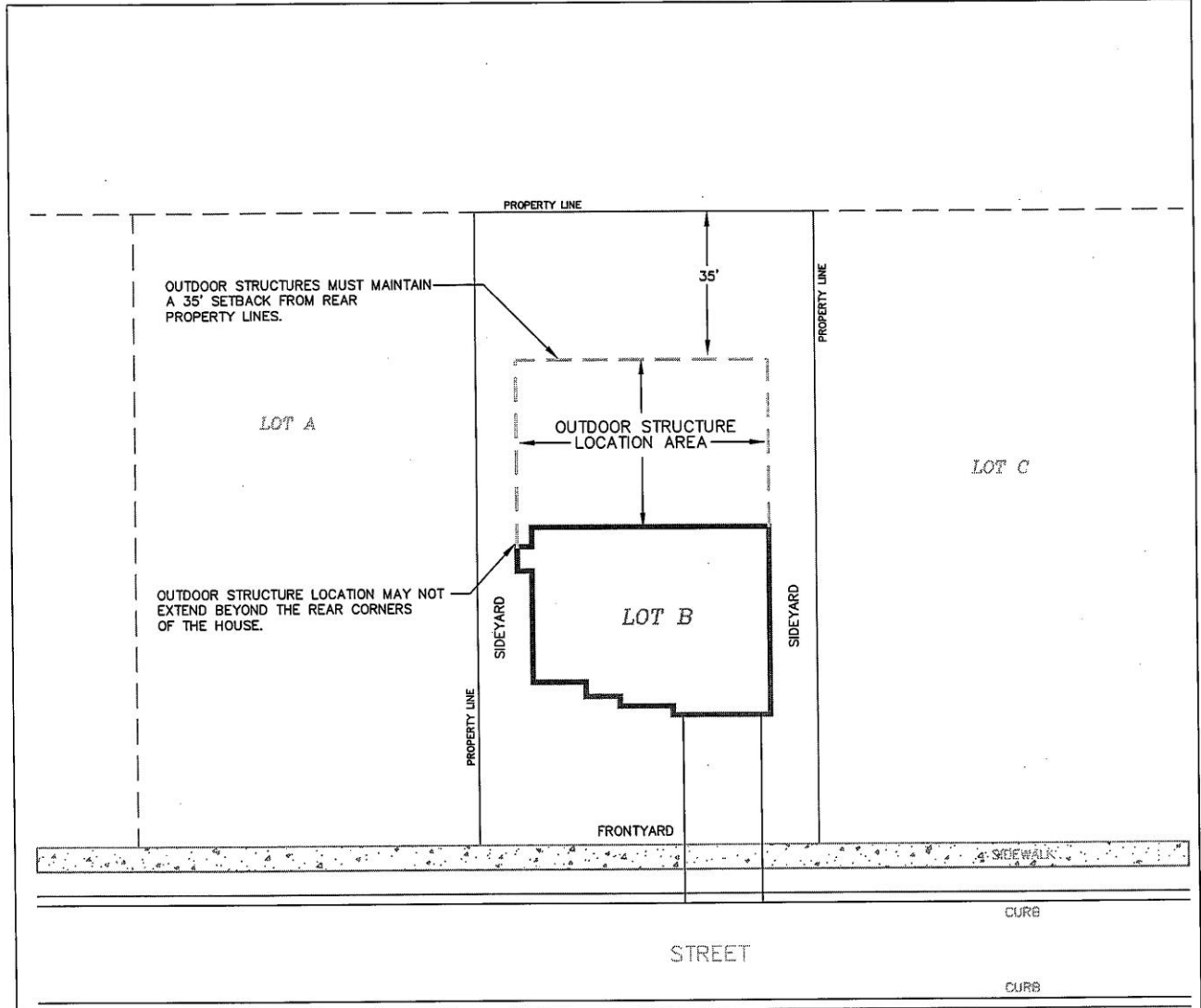
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MAP FOR CORNER LOT OUTDOOR STRUCTURE LAYOUT EXHIBIT				
SCALE	LOT TYPE	FIGURE	DRAWING	DATE
NTS	CORNER	1 of 1		Jan. 2005
SURVEYED	ARCHITECTURAL CONTROL COMMITTEE			MAP RECORDED
MAPPED	REAR YARD FENCE LAYOUT			DEED RECORDED

THIS EXHIBIT MAP MAY NOT BE TO SCALE AND ALL DISTANCES SHOULD BE TAKEN FROM DIMENSION CALL OUTS ON THE PLAN.

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NOTES:

ENTIRE OUTDOOR STRUCTURE MUST BE SCREENED FROM VIEW FROM THE STREET, ADJACENT LOTS, COMMON OPEN SPACE, RECREATIONAL AREAS AND FROM THE GOLF COURSE (IF APPLICABLE).

ADDITIONAL LANDSCAPE REQUIREMENTS AS FOLLOWS:
EVERGREEN SHRUBS ON STREET SIDE OF FENCE:
24" TALL INSTALLED HEIGHT.
4' ON CENTER SPACING.
MINIMUM MATURE EQUAL TO HEIGHT OF OUTDOOR STRUCTURE WALL HEIGHT.

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MAP FOR MID BLOCK LOT, OUTDOOR STRUCTURES LAYOUT				
SCALE	LOT TYPE	FIGURE	DRAWING	DATE
NTS	MID-BLOCK	1 of 1		Jan. 2005
SURVEYED	ARCHITECTURAL CONTROL COMMITTEE			MAP RECORDED
MAPPED	REAR YARD FENCE LAYOUT			DEED RECORDED

THIS EXHIBIT MAP MAY NOT BE TO SCALE AND ALL DISTANCES SHOULD BE TAKEN FROM DIMENSION CALL OUTS ON THE PLAN.

SECTION 3: REAR YARD FENCE IMPROVEMENT GUIDELINES

- General:** All fences and similar enclosures must be approved by the ACC as to style, location, size and materials. Fences should perform the functions of enclosing spaces and providing security with minimal visual impact, thus maintaining the sense of natural openness throughout the community. Additional fence setbacks or limitations may be imposed upon Lots abutting Common Open Space or other natural areas.
Fences at Alley Lots: Only a 5' height shadowbox style fence may be installed adjacent to the alley at non-alley access lots (lots adjacent to an alley but without a drive connecting to the alley). Alley access lots may select from the following list of approved fence types.
- Fence heights:** Four-foot (4') to six-foot (6') height.
- Fence color:** Treated lumber fences may be stained with approval from the ACC
Aluminum and Wrought Iron fences may only be black or bronze in color.
- Recommended:** Treated lumber, two or three rails – split rail fence – natural only
Treated lumber, two or three rails - diamond rail fence – natural only
Traditional Picket Fence (timber) – maximum 4' height.
Wrought Iron fence – black or bronze only
Aluminum fence – black or bronze only
Brick wall/columns (*Brick color must match home*)
- Gates shall match the type/style of fence. (gates on a split rail fence must be made from rails to match fence).
 - There may be a maximum of three gates per lot
 - A single gate may have the maximum width of 5 feet and a double gate may have a maximum width of 8 feet. There may only be one double gate per home.
 - Fences may be designed with brick columns and/or walls.
 - Wrought iron, aluminum and other decorative metal fence shall be an open picket style (1/2" – 1" pickets with +/- 4" openings) and 3 horizontal rails minimum.
 - All four sections of fence shall match (unless connecting with an adjacent, existing fence).
 - Fences shall be constructed with the decorative side facing out (if applicable).
- Prohibited:** Solid wood privacy fences.
Electric or barbed wire fences.
Chain link fences (except as approved for tennis courts).
Painted wood fences (other than approved natural stain).
Wrought iron or aluminum fences in any color except black or bronze.
Vinyl fences (unless finish resembles natural wood).
Dog runs or pens.
The combination of fence styles on a lot.
- Fence locations:** Rear/Side Yard (See Fence Layout Options)
- Fences must be located directly on side and rear property lines on the applicant's lot shared by adjoining lots to allow for connection of (future) fences.

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- Fences located in the side yard may only extend as close to the front of the lot as the mid point of the side of the house. Exception: A fence may be located within 10' of the front of the house only for the purpose of containing a side entry service door to the garage.
- Side yard fences at corner lots may not extend beyond the side yard setback. The back corner of the fence at the side street shall be angled at 45 degrees when adjacent to the front of a neighboring lot.
- Fences located over utility easements are subject to removal as may be necessary for access or maintenance as allowed by the easement.
- All fences may be subject to additional setbacks from trails as determined by the ACC.

Screening:

- It is recommended that all sections of fence that front a street have a landscape buffer/screen installed on the street side of the fence. The recommended buffer/screen may consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and are to have a minimum mature height of 4-feet. It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plants may be applied to the screening recommendation.
- No trees with a trunk caliper greater than 3-inches may be removed during construction without ACC approval. Fines or other remediation may be assessed to the homeowner for trees removed without approval. Caliper measurements shall be taken from six inches (6") above the top of the ground.

Debris:

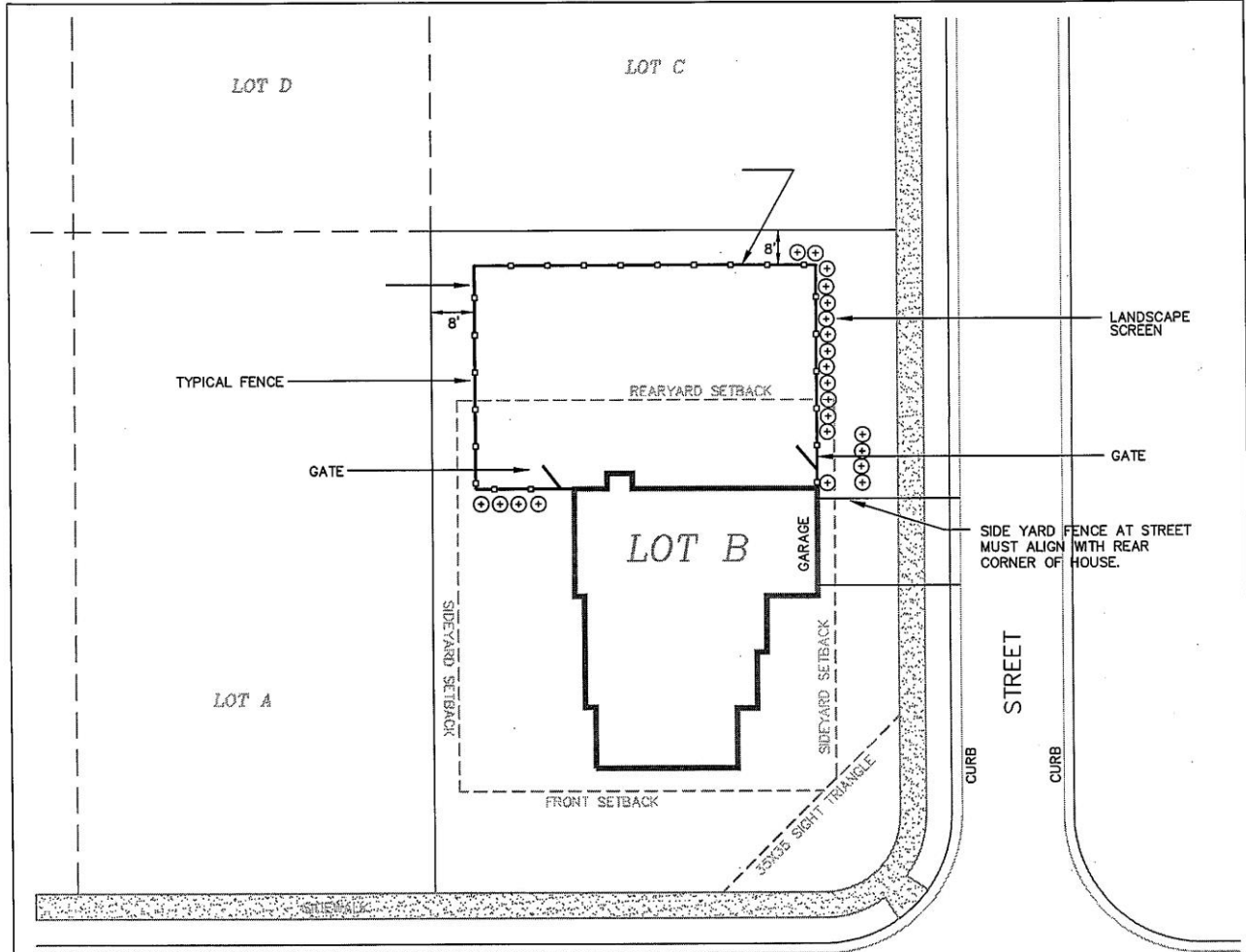
All construction debris shall be collected on a daily basis and placed in appropriate containers or hauled off. Debris may only be placed at curb for pick-up for a period not exceeding 24 hours. Hazardous, toxic and similar materials must be secured at all times.

Submittal:

Please submit a Review Request form, a fence layout drawn on your lot survey indicating the location of the fence, gate(s) and screen plantings on the property (include adjacent existing fences), a photo/sketch of the proposed fence, and a list of materials to be used for your landscape buffer/screening requirements (plant name, installed size, number & location, mulch type, edging/borders and/or existing trees/shrubs).

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NOTES:

LOCATION OF PLANTS AND/OR GATES SHOWN ON THIS PLAN ARE SUGGESTIONS ONLY, OTHER LOCATIONS MAY BE SUBMITTED TO THE ACC FOR REVIEW.

FENCE NOT TO BE INSTALLED IMMEDIATELY PARALLEL TO AN EXISTING FENCE (8' MINIMUM OFFSET).

ENTIRE FENCE MUST BE SCREENED FROM VIEW FROM THE GOLF COURSE (IF APPLICABLE).

ADDITIONAL LANDSCAPE REQUIREMENTS AS FOLLOWS:
EVERGREEN SHRUBS ON STREET SIDE OF FENCE:
24" TALL INSTALLED HEIGHT.
4' ON CENTER SPACING.
MIN. MATURE EQUAL TO HEIGHT OF FENCE.

THIS EXHIBIT MAP MAY NOT BE TO SCALE AND ALL DISTANCES SHOULD BE TAKEN FROM DIMENSION CALL OUTS ON THE PLAN.

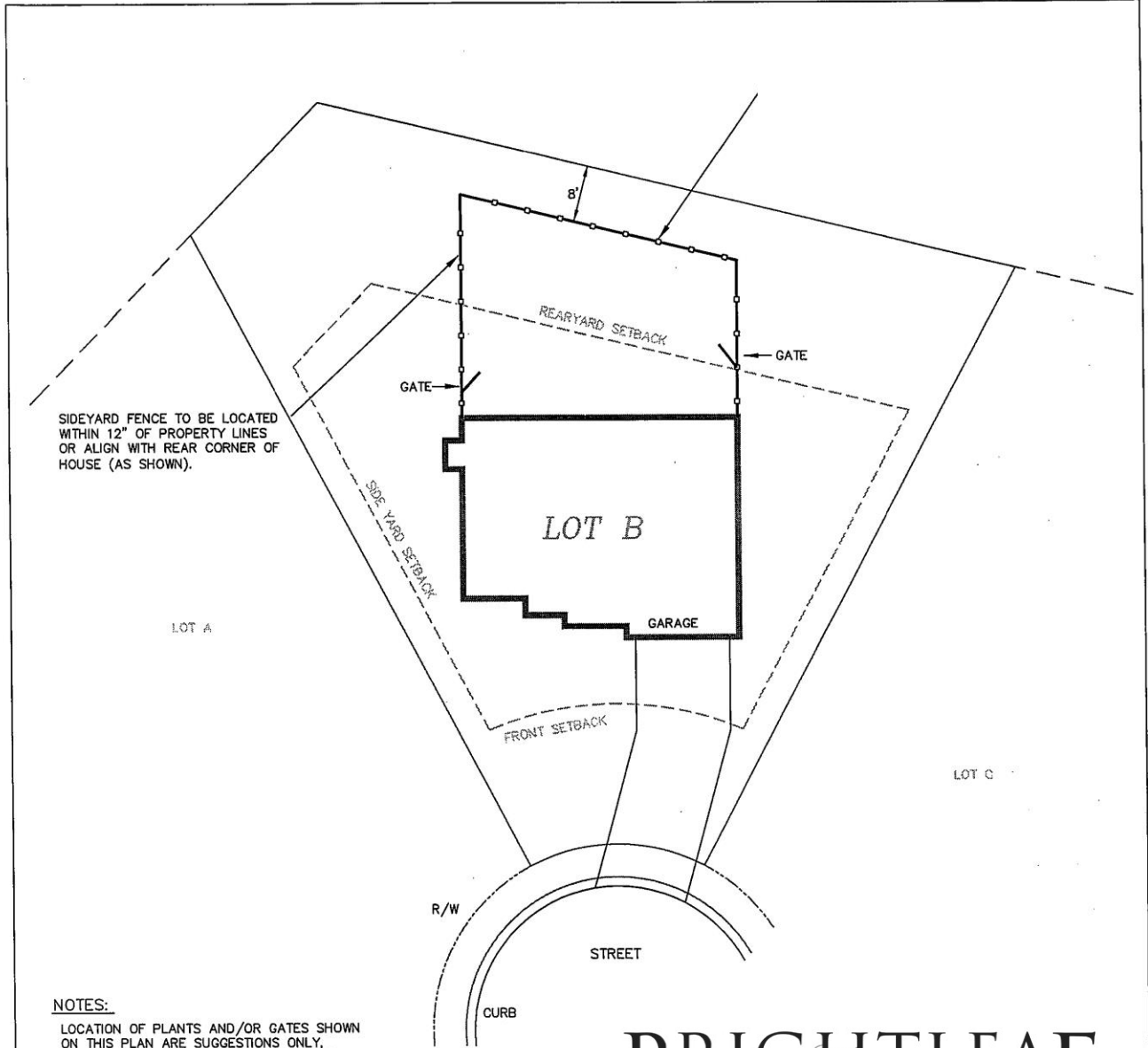
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— AT THE PARK —

MAP FOR CORNER LOT, FENCE OPTION 1				
SCALE	LOT TYPE	FIGURE	DRAWING	DATE
NTS	CORNER	1 of 2		Jan. 2005
SURVEYED	ARCHITECTURAL CONTROL COMMITTEE			MAP RECORDED
MAPPED	REAR YARD FENCE LAYOUT			USED RECORDED

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NOTES:

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FENCE NOT TO BE INSTALLED IMMEDIATELY PARRALLEL TO AN EXISTING FENCE (8' MINIMUM OFFSET).

ENTIRE FENCE MUST BE SCREENED FROM VIEW FROM THE GOLF COURSE (IF APPLICABLE).

NO ADDITIONAL LANDSCAPE SCREEN OR BUFFER IS REQUIRED WITH THIS FENCE LAYOUT ON THIS TYPE OF LOT.

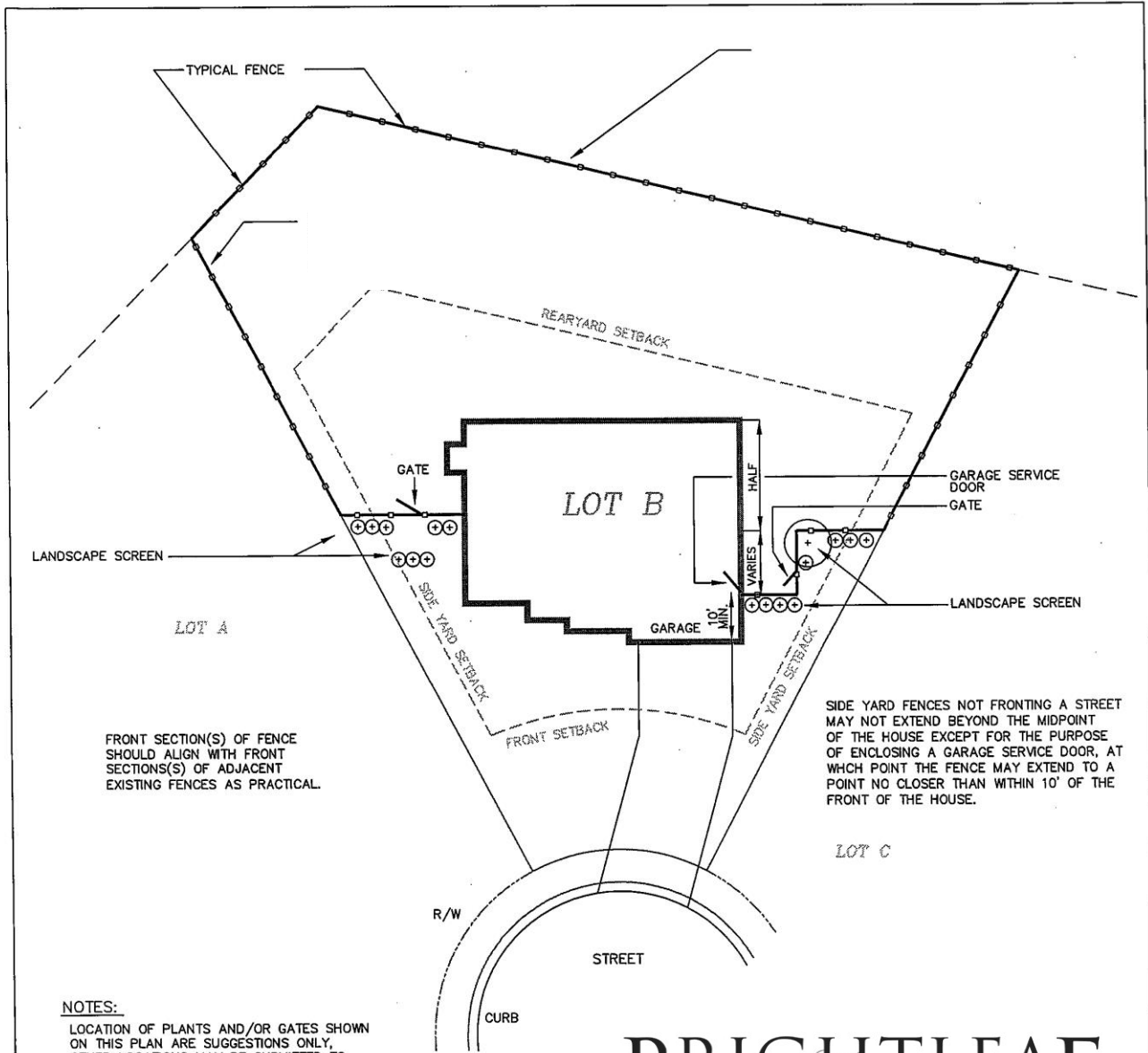
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MAP FOR					CUL DE SAC LOT, FENCE OPTION 1				
SCALE	LOT TYPE	FIGURE	DRAWING	DATE					
NTS	CUL DE SAC	1 of 2		Jan. 2005					
SURVEYED	ARCHITECTURAL CONTROL COMMITTEE								MAP REVISIONS
MAPPED	REAR YARD FENCE LAYOUT								FIELD REVISIONS

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FRONT SECTION(S) OF FENCE SHOULD ALIGN WITH FRONT SECTION(S) OF ADJACENT EXISTING FENCES AS PRACTICAL.

SIDE YARD FENCES NOT FRONTING A STREET MAY NOT EXTEND BEYOND THE MIDPOINT OF THE HOUSE EXCEPT FOR THE PURPOSE OF ENCLOSING A GARAGE SERVICE DOOR, AT WHICH POINT THE FENCE MAY EXTEND TO A POINT NO CLOSER THAN WITHIN 10' OF THE FRONT OF THE HOUSE.

NOTES:

LOCATION OF PLANTS AND/OR GATES SHOWN ON THIS PLAN ARE SUGGESTIONS ONLY, OTHER LOCATIONS MAY BE SUBMITTED TO THE ACC FOR REVIEW.

FENCE NOT TO BE INSTALLED IMMEDIATELY PARRALLEL TO AN EXISTING FENCE (8' MINIMUM OFFSET).

ENTIRE FENCE MUST BE SCREEND FROM VIEW FROM THE GOLF COURSE (IF APPLICABLE).

ADDITIONAL LANDSCAPE REQUIREMENTS AS FOLLOWS:
 EVERGREEN SHRUBS ON STREET SIDE OF FENCE:
 24" TALL INSTALLED HEIGHT,
 4' ON CENTER SPACING,
 MIN. MATURE EQUAL TO HEIGHT OF FENCE.

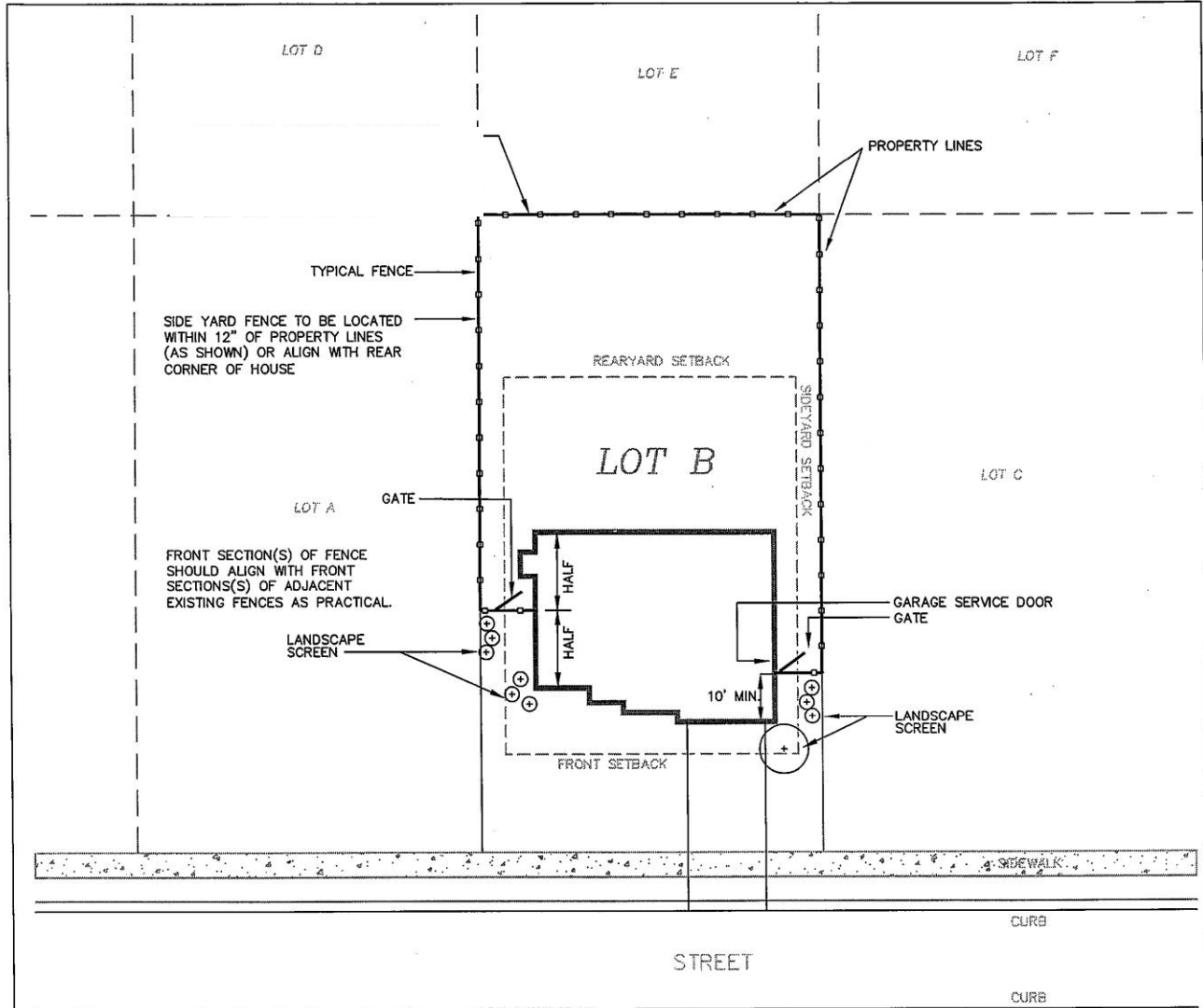
THIS EXHIBIT MAP MAY NOT BE TO SCALE AND ALL DISTANCES SHOULD BE TAKEN FROM DIMENSION CALL OUTS ON THE PLAN.

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MAP FOR				
CUL DE SAC LOT, FENCE OPTION 2				
SCALE	LOT TYPE	FIGURE	DRAWING	DATE
NTS	CUL DE SAC	2 of 2		Jan. 2005
SURVEYED	ARCHITECTURAL CONTROL COMMITTEE			MAP RECORDED
MAPPED	REAR YARD FENCE LAYOUT			ENDS RECORDED

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NOTES:

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FENCE NOT TO BE INSTALLED IMMEDIATELY PARRALLEL TO AN EXISTING FENCE (8' MINIMUM OFFSET).

ENTIRE FENCE MUST BE SCREEND FROM VIEW FROM THE GOLF COURSE (IF APPLICABLE).

ADDITIONAL LANDSCAPE REQUIREMENTS AS FOLLOWS:
EVERGREEN SHRUBS ON STREET SIDE OF FENCE:
24" TALL INSTALLED HEIGHT.
4' ON CENTER SPACING.
MIN. MATURE EQUAL TO HEIGHT OF FENCE.

THIS EXHIBIT MAP MAY NOT BE TO SCALE AND ALL DISTANCES SHOULD BE TAKEN FROM DIMENSION CALL OUTS ON THE PLAN.

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MAP FOR					MID BLOCK, FENCE OPTION 2				
SCALE	LOT TYPE	FIGURE	DRAWING	DATE					
NTS	MID-BLOCK	2 of 2		Jan. 2005					
SURVEYED					MAP RECORDED				
MAPPED					DEED RECORDED				
ARCHITECTURAL CONTROL COMMITTEE REAR YARD FENCE LAYOUT									

SECTION 4: PLAY EQUIPMENT IMPROVEMENT GUIDELINES

General: Play equipment should not detract from the aesthetic quality of the community nor from the privacy of adjacent homeowners. All play equipment shall be manufactured by a play equipment supplier for the intended use. Home-made or modified products may be rejected due to safety concerns and/or objectionable appearance.

Storage: All non-permanent play equipment (i.e.: basketball goals, trampolines, inflatable pools, playhouses, hitting nets, etc.) shall be removed from the yard and stored (out of sight) when not in use. Homeowners not storing non-permanent or portable play equipment shall be in violation of the ACC Guidelines and subject to fines and penalties. A variance from the storage requirements may be granted by the ACC in instances where it would be unreasonable to store play equipment (such as larger pieces) in which case a permanent location and screening plan must be submitted.

Screening: All play equipment must be completely screened year round from view from streets, common open space and Neighboring Lots. Play structures that cannot be effectively screened with either existing or proposed plantings within two years will not be approved or may subsequently be considered a violation.

- The minimum buffer/screen shall consist of a single row of evergreen shrubs planted at a spacing of 4-feet on center with an installed height of 24-inches above grade and a minimum mature height of 4-feet (or as necessary to screen the play equipment). It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for screening purposes. Existing plantings may be applied to the screening requirements.
- No trees with a caliper greater than 3-inches may be removed during construction without ACC approval. Fines or remediation may be assessed to the homeowner for trees removed without approval. Caliper measurements shall be taken from 6 inches above grade at the trunk.
- All screen plantings must be located on the lot with the requested improvement.

Basketball Goal:

Backboard: Transparent backboard material.

Post/Frame: Metal components, black color.

Location: Behind residence: Shall be located directly behind the house and outside the rear yard setback. Goals may be located within the setback (no closer than 20' from the rear property line) in instances where the rear yard is not wooded or partially wooded.
Side load garage: locate goal perpendicular to the Street Zone at the rear of the drive.
Front load garage: locate goal at the outer side of the drive no closer to the street than the mid-point of the driveway (mid-point is the total length of the driveway from the garage to the sidewalk divided by two (2)) and perpendicular to the Street Zone

Permanent or

Portable: Goals that are portable need to be stored in a location approved by the ACC be so they are not visible from the street zone or Neighboring Lots when not in use.

Prohibited: Goals shall not be attached to the house, garage or other structure.

Goals shall not be located in the street or in the street right-of-way.

Screening: Goals with locations approved by the ACC shall not be subject to the screening requirements.

SECTION 5: SATELLITE RECEIVER (DISH) IMPROVEMENT GUIDELINES

- General:** All satellite receiver dishes must be approved prior to installation. Unapproved installations shall be in violation and subject to fines and penalties.
- Dish size:** 30-inches or less (i.e. DSS, Primestar, Directv)
- Quantity:** Each lot may have (1) one satellite receiver attached to their house or in their yard. Additional satellite receivers will require a variance from the ACC.
- Location:** Satellite receiver shall be installed so that it is not directly visible from streets, adjoining lots or from the common open space.
Mounting locations (in order of preference):
Receiver facing front yard;
 1. Roof mounted behind the central peak on the back side (rear yard) of the roof and not higher than the peak of the roof
 2. Wall mounted on house side wall on the back 1/2 of the house
 3. Ground mounted at sides or front corner of house
Receiver facing rear yard;
 1. Roof mounted behind the central peak on the back side of the roof and not higher than the central peak of the roof
 2. Ground mounted directly behind and within 10-feet of the house
 3. Ground mounted in the rear yard directly behind the house no closer to the side or rear property line than 10-feet
- Satellite receivers are prohibited from being located in the front yard or on the front half of the house's roof.
- Screening:** Screening around all satellite receivers is required, as necessary to buffer views from streets, Neighboring Lots, and common open space. The minimum screen/buffer shall consist of a single row of evergreen shrubs planted at a spacing of 3-feet with an installed height of 24-inches and a minimum mature height of 4-feet (or as necessary to screen the receiver). It is recommended that a mixture of evergreen and deciduous shrubs and trees be used for the screening purposes (this type of screening may be located along the property boundary in lieu of being adjacent to the structure with ACC approval). Existing trees and shrubs may be used to fulfill the screening/buffer requirement and should be located on the survey for ACC review.
- Submission:** Please submit a Review Request form, your lot survey indicating the location of the satellite dish(s) on the property, an elevation view or sketch of the house with wall mounted receiver, a landscape plan, and a list of plants to be installed to fulfill the buffer/screen requirement. Existing trees and shrubs may be used to fulfill the screening/buffer requirement and should be located on the survey for ACC review.

SECTION 6: GENERAL IMPROVEMENTS, LANDSCAPE & MAINTENANCE IMPROVEMENT GUIDELINES

General: All lots shall be maintained in a neat and attractive condition by their respective owners. Upkeep and replacement of the lawn, natural areas, trees, shrubbery and planting beds shall be the sole responsibility and expense, and is expected of all homeowners to insure the continuity and aesthetics of the exterior design of the community.

All landscape planting improvements affecting the size or location of planting beds or lawn areas must be submitted for approval. Generally, supplementing, replacing or adding plants to an existing planting bed does not require approval except in cases where plant material may be a nuisance or otherwise negatively impact the community.

All hardscape improvements (i.e. improvements other than plant materials, such as paving, trelliage, bird houses, statuary, borders, walls etc.) must be submitted for approval. Avoid mixing types or styles of hardscape materials (such as a wall with stone and another with brick, or two types of edging, etc.).

Location of

Improvements: Refer to the Lot Survey for the location of drainage, utility and landscape easements on the lot. Existing improvements and underground utilities within these easements must be maintained and protected. Contact a utility locator service or the designated user prior to any projects involving digging. Homeowners and their contractors are responsible for any repairs due to their work. Limit improvements in these easements as the easement serves as a repair route for service vehicles and repair equipment. Any obstacles within a recorded easement may be removed (and not replaced) by the utility (or designated user) without notice as deemed necessary. Improvements shall not impede or block drainage swales or otherwise redirect established surface drainage patterns.

Hardscape improvements are generally not allowed within the street ROW (the area between the curb and sidewalk, or 10'-12' behind the curb without sidewalk). Landscape improvements are also discouraged in the ROW and must be submitted and approved.

35' Rear Yard

Setback Area: Improvements within the Rear Yard Setback area (or 30' Front Yard Setback at alley access lots) are limited to supplemental landscaping, clean-up of limbs and debris, selective pruning of existing trees, removal of dead/dying plants, limited turf areas and above ground irrigation. A mulch/planting bed shall be maintained along the rear property line being a minimum 10' in depth from the rear property line. This bed should have a meandering edge and serves to soften the transition between yards as well as provide runoff and water quality protection. No equipment, machinery, trenching, material storage, etc. is allowed within the 35' setback area without specific written approval from the ACC or Declarant. In-ground irrigation may be installed directly outside the 35' setback line for the purpose of irrigating within the 35' setback area. All improvements within the 35' setback area must be approved by the ACC. Additional improvements may be allowed within this area if devoid of existing trees as approved by the ACC.

Topography: Topography of the property is designed to allow suitable drainage for your lot and Neighboring Lots. If the finished grades are to be modified (raised or lowered), a grading and drainage plan must be submitted to the ACC for review. Overall drainage patterns must not be modified.

Lawns: All yard areas shall be established as Fescue turf grass or Bermuda sod, planting beds or maintained as natural areas. Lawns should be mowed regularly and trimmed around fixed structures (e.g. house, mailbox, outbuilding, fences) to a comparable height of the mowed lawn. Measures shall be taken to satisfactorily maintain turf areas (mowing, raking, watering, weeding, pest control, etc.) year round. Turf grasses shall not grow beyond a 5" height or "head-out" as applicable unless weather conditions preclude regular maintenance.

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- Landscaping:** Supplemental landscaping for aesthetic and environmental purposes is encouraged. Planting areas should be designed with flowing forms and a mixture of plant types. Avoid linear plantings of a single species, plants that maybe a hazard or nuisance to Neighboring Lots (i.e. weak wooded trees, plants that create “litter”, etc.), or plants that may be impractical for their location (i.e. low branching or evergreen trees near sidewalks, etc.). All planting improvements other than plant replacements and the addition of plants within an existing bed shall require ACC approval. All ornamental plants, shrubs, hedges, etc. shall be contained within common planting beds. All planting beds are to be mulched and maintained. Trees and individual specimen plants may be placed in the lawn with a mulch saucer. It is recommended that all plantings be native or naturalized to the area. Exotic plants as well as plants with vigorous or invasive growth characteristics are not acceptable. Reference the List of Approved Plant Species for acceptable plant materials at the end of this booklet.
- Natural areas:** General maintenance of existing trees and shrubs is expected from the homeowner. It is recommended that existing plants be contained within, or incorporated into a planting bed. Maintenance should include, but is not limited to: weeding, fertilizing, mulching and watering as well as the removal, disposal, and replacement of dead trees, shrubs, limbs and grasses on your property.
- No tree over 3” caliper, measured 6” above grade shall be removed from a lot without approval from the ACC. Homeowners are encouraged to maintain small saplings of desirable species as a succession forest plant.
 - Any underbrush may be cleared out by the homeowner however the area must be mulched or otherwise stabilized.
 - Drainage easements shall be maintained and kept free from debris blocking or diverting water from properly flowing.
- Irrigation:** Irrigation systems should not impact streets, walks, Neighboring Lots, common open space or environmentally sensitive areas. The homeowner shall be responsible for any damage to systems located within the street ROW or other easements.
- Lighting:** All exterior lighting must be approved by the ACC. Fixtures should enhance the design of the house, lot and community. Light source shall not create a nuisance or emit glare directly to streets and adjacent properties. Soffit mounted spot lights are discouraged.
- Landscape Lighting:** All landscape lighting improvements must be approved by the ACC prior to installation. Uplighting of the front residence façade, trees and other landscape features is acceptable. Fixtures shall be selected to compliment the residence and limit visibility of the fixture and light source. Direct glare to adjacent lots, streets or other adjacent uses is not acceptable. Lighting of designated street trees is discouraged. Above ground pathway lighting may be placed along walks within planting beds. Path lights along drives or within turf areas in the front yard is not acceptable. Inexpensive, plastic “kit” lights and similar are discouraged. The ACC may require removal of any landscape lighting that is damaged, inoperative or otherwise not being maintained as determined by the ACC.
- Retaining Walls/Walls:** Walls should add an aesthetic element to the landscape design as well as complement the house and lot. The following wall materials are recommended;
- Landscape Stone (landscape stone is typically categorized or named).
 - Brick, matching house if applicable.
 - Manufactured segmental block (i.e. keystone) matching or complementing the style and colors of the house.

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Walks/Drives/

Patios: All paving additions or extensions must be approved by the ACC. Paving is allowed within building setbacks however no closer than 1 foot from any property lines. Large expanses of paving are discouraged.

Parking: On-street parking is not allowed except for occasional gatherings or events. Vehicular parking is limited to designated paved areas only. Damaged or otherwise inoperative vehicles as well as commercial vehicles, boats, trailers and the like must be contained within an enclosed structure. Vehicular parking or storage in community parking areas is prohibited.

Garden Pools: Garden pools are allowed as approved by the ACC. Vertical fountains and lighting are discouraged. Pools that are not maintained or are otherwise determined to be a health or safety hazard as determined by the ACC shall be in violation of the ACC Guidelines.

Mulch: Mulching of planting beds is required as well as natural areas if under-brushed. Large expanses of mulch areas are discouraged. The following mulches are recommended;

- Pine needles
- Hardwood/Pine shredded wood mulch
- Hardwood/Pine wood nuggets

All other mulches must have ACC approval prior to installation. Stone, gravel or colored mulch is prohibited. Black mulch complimenting the house exterior finish may be allowed with ACC approval.

Edging: Edging is the material often used to separate planting beds from lawn areas and similar applications and is generally installed flush with the surrounding grade. The following edging materials are recommended;

- Black, plastic edging installed flush with the lawn
- Metal edging installed flush with the lawn (Black, Brown, or Green in color)
- Landscape stone or brick border (matching house if applicable).
- Pre-cast block (i.e. keystone) border to match or complement the colors of the house.
- All other edging must have ACC approval prior to installation.

Mailboxes: The custom community mailbox is the standard approved by the ACC. Numbers or letters placed on the mailbox shall conform to ACC standards. Mailbox specifications and vendor(s) for the acquisitions and service of the mailbox are available from the ACC. Cost and maintenance of the mailbox shall be the responsibility of the homeowner or builder. Mailboxes shall not be altered or modified in any way.

Signs: No signs, banners, billboards or similar placards including contractor, tradesman, realtor, etc. shall be erected on any lot, except signs required by law. The developer and assigns are exempt from this guideline.

Decorations: Seasonal and holiday decorations generally do not require approval. All decorations must be tasteful and not offensive as determined by the ACC. Decorations shall not create a nuisance to Neighboring Lots, streets or common open space areas. The ACC reserves the right to order the removal of any decorations as may be determined inappropriate. Seasonal and holiday decorations shall not be installed earlier than 30 days prior to the holiday and must be removed no later than 30 days following the holiday.

Garden

Ornament: No decorative objects such as sculptures, birdbaths, fountains and similar features shall be placed on a lot where visible from streets, Neighboring Lots and common open space areas without approval by the ACC. Small yard ornaments such as figurines, etc. are discouraged in the front yard areas and must be

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located within planting beds adjacent to the residence. A maximum of 3 ornaments less than 12” may be placed within locations visible from the street without ACC approval. Ornaments exceeding this size or quantity must be approved by the ACC. All garden ornament is subject to ACC evaluation and may be deemed undesirable as determined by the ACC.

Furniture: Permanent or otherwise “installed” outdoor furniture must be approved by the ACC. All furniture not located on a patio, deck or other similar surface may require screening and must be approved by the ACC. All outdoor furniture shall be appropriate for the application and properly maintained. Furniture with bright colors, graphics, patterns, etc. may be considered a nuisance and violation by the ACC.

Debris/Refuse: Garbage and refuse shall be placed in appropriate containers and shall be capped or contained. All refuse containers shall be concealed within building or enclosed to an extent that they are not visible from the street, Neighboring Lots and common open space areas. Roll-out containers shall not remain at the street beyond the pick-up day. Bulk debris may be placed at the curb for pickup for a period not exceeding 24 hours. Yard waste may not be dumped or stored on any properties in the community. All construction debris shall be collected on daily basis and placed in appropriate containers or hauled off. Hazardous, toxic and similar materials must be secured at all times.

Prohibited: Interior or exterior window treatments with graphics, bright colors or patterns or as otherwise determined a visual nuisance by the ACC. Temporary window coverings such as sheets, paper, etc. are not allowed. Outdoor clotheslines.

Submittal: Please submit a Review Request form and the location and list of the landscape improvements drawn on your lot survey of the property. Additional plans may be necessary depending on the extent of the improvements.

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